



**JUMPER CARTER SEASE/ARCHITECTS, P.A.**  
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**1600 HAMPTON ANNEX – DEFERRED MAINTENANCE**

**PROJECT NO: H27-6107**  
**USC PROJECT NO: CP00394873**  
**JCS PROJECT NO: 12113**

**ADDENDUM 02**  
**March 5, 2014**

**GENERAL:**

1. See Mechanical Design Inc. Addendum No. 2 included in this addendum for mechanical revisions.
2. See Sims Group Addendum No. 2 included in this addendum for electrical / fire alarm revisions.

**SPECIFICATIONS:**

1. **OSE Form 00811, Standard Supplementary Conditions, Paragraph 3.132, Article 16.1:** REVISE as follows:

16.1. Inspection Requirements:

- ☒ Special Inspections are required and are not part of the Contract Sum.
- ☒ Building Inspections are required and are not part of the Contract Sum.
- ☐ Building Inspections are required and are part of the Contract Sum.

The inspections required for this Work are:

- ☐ Civil
- ☒ Structural
- ☒ Mechanical
- ☒ Plumbing
- ☒ Electrical
- ☐ Gas
- ☐ Other (list)

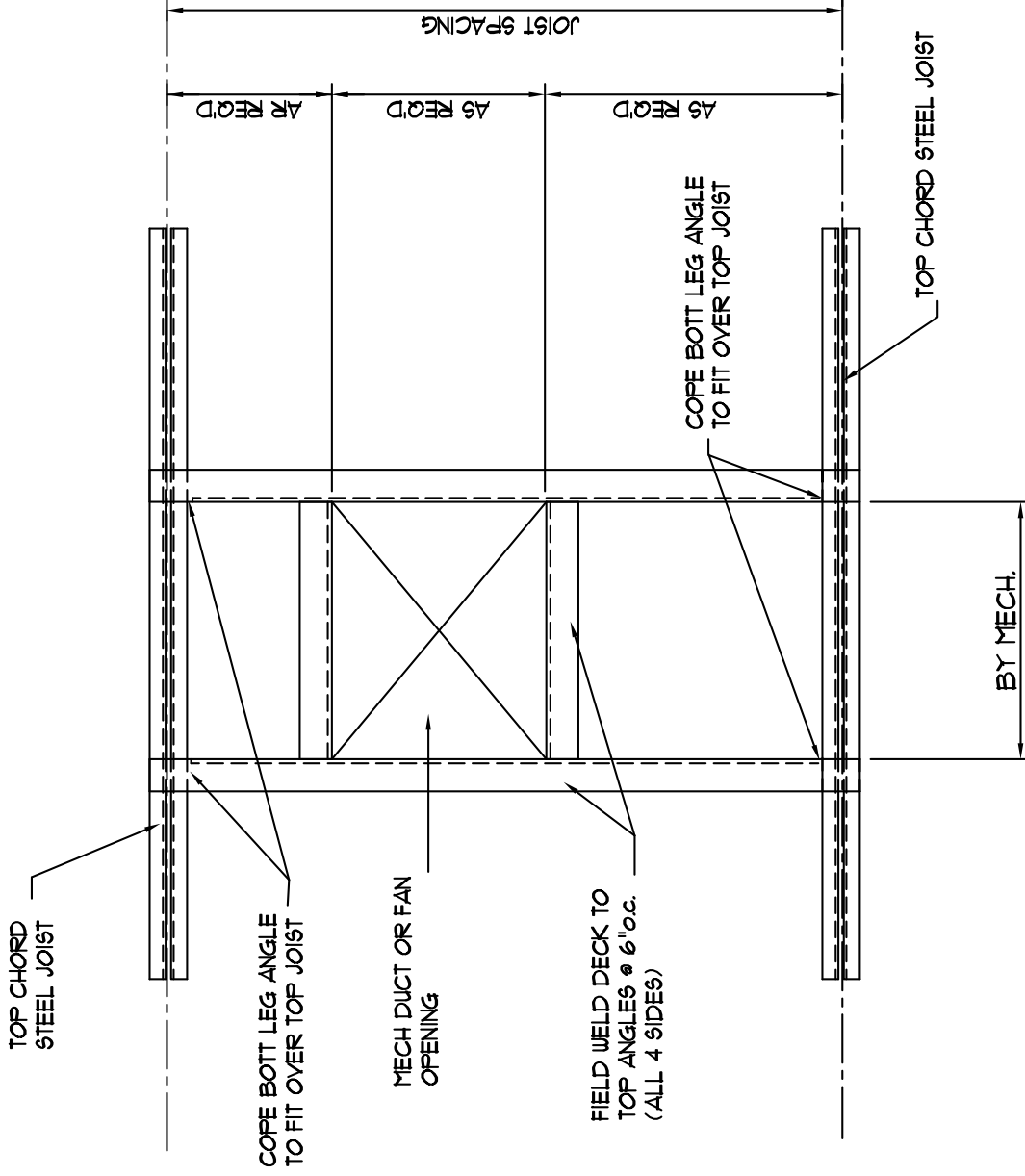
Remarks: All inspections will be performed by 3rd party inspector under contract with USC or the USC fire marshal.

2. **OSE Form 00811, Standard Supplementary Conditions, Paragraph 3.132, Article 16.3 and 16.4:** **REPLACE** the underlined word “None” with “As indicated elsewhere in the project manual.”
3. **Section 015000, Temporary Controls, Paragraph 1.2:** **DELETE** items B, C, D, and E and **REPLACE** with the following:
  - B. The building will be unoccupied at the time construction begins. Contractors may use existing utilities at owner’s expense, including power, water (other than toilet facilities), and HVAC, until such time that demolition or construction activities require temporary or permanent cut-off of such utilities, at which time the contractor will be responsible for providing temporary facilities for construction use at contractor’s expense.

#### **DRAWINGS:**

1. **Sheet D100, D101, & D102, Demolition Plans:** **ADD** to General Note 11: “COASTAL COMMERCIAL ROOFING HOLDS A TWO-YEAR CONTRACTOR WARRANTY EFFECTIVE 10/29/13 – CONTACT JOHN GANN AT (843)-369-4101.”
2. **Sheet D100, D101, & D102, Demolition Plans:** **ADD** to Demolition General Note 1: “OWNER HAS ELECTED TO REJECT ALL HVAC EQUIPMENT SCHEDULED FOR DEMOLITION – CONTRACTOR SHALL DISPOSE OF IN A LEGAL MANNER.”
3. **Sheet D100, D101, & D102, Demolition Plans:** **ADD** to Demolition General Note 8: “GC SHALL PATCH ALL WALL OPENINGS, INTERIOR OR EXTERIOR, WHERE MECHANICAL DEVICES OR DUCTWORK IS REMOVED, WITH LIKE MATERIALS (GWB OR CMU) TO MATCH EXISTING SURFACES. PAINT TO MATCH EXISTING.”
4. **Sheet D100, D101, & D102, Demolition Plans:** **REVISE** Demolition Key Note D7 to read: “REMOVE EXISTING SUSPENDED ACOUSTICAL CEILING SYSTEM COMPLETE, INCLUDING ACOUSTICAL TILE, GRID, AND HANGERS. SEE ELECT. AND MECH. DWGS. FOR LIGHTING AND MECHANICAL DEVICES TO BE REMOVED.”
5. **Sheet D100, D101, & D102, Demolition Plans:** **ADD** to Demolition Key Note D16: “PROVIDE WELDED STEEL ANGLES TO FRAME EACH OPENING. SEE DETAIL.” (included on attached bulletin drawing ADD #02/A1).

#### **END OF ADDENDUM**



# TYPICAL FLOOR FRAMES AROUND FLOOR PENETRATIONS

L-2"x2"x1/4" AROUND ALL FLOOR PENETRATIONS UNLESS SHOWN OTHERWISE  
INCLUDING VENT PIPES OVER 6" DIAMETER, ETC.

Jumper

Carter

Sease

DATE: 3/5/2014

TITLE: Floor / Roof Framing Detail

REFERENCE SHEET: D102

JOB: 1600 Hampton Annex - Renovation  
(DLES)

SHEET NO.: ADD #02

A1



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Phone: 731-9834  
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## **ADDENDUM NO. 2**

To: **Jumper, Carter, Sease, Architects**

Attn: Darryn Bouknight, AIA

Date: March 5, 2014

Project: **1600 Hampton Steet - Deferred Maintenance**  
University of South Carolina

**MDI Comm. No. 122998**

### **To All Bidders:**

Please include the following items in your bid for this project:

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### **ITEMS PERTAINING TO HVAC DRAWINGS**

1. Refer to drawings M101 (Men 004), M101 (Stair ST03), M102 (Lobby V102), and M102 (ST01); change note "EXISTING EWH TO REMAIN" to read "REMOVE EWH." Disconnect electrical power wiring from each of the removed heaters and connect back to new in accordance with the 2011 NEC.
  2. Refer to drawings M101 (South Stairwell) and M103 (Women 303); change note "EXISTING EWH TO REMAIN" to read "REMOVE EWH." Disconnect and remove electrical power wiring from each of the removed heaters.
  3. Refer to drawings M201 (Men 004), M201 (Stair ST03), M202 (Lobby V102), and M202 (ST01); change note "EXISTING EWH TO REMAIN" and change to "NEW EWH WITH SAME KW AS REMOVED HEATER." Each new wall heater shall be tamper-proof complete with a sheath finned type electrical heating element with automatic reset thermal overload protector. Heaters shall be surface mounted. Heater shall have closely spaced 16 gauge grille bars to discourage insertion of foreign objects. Grille shall be duronodic brown baked enamel finish and satin finished aluminum frame. Integral thermostat shall be tamper-proof. Built-in power disconnect. Built-in fan relay switch shall energize fan motor only after elements are heated. Permanently lubricated totally enclosed fan motor. Units shall be Qmark AWH-4000 or equal equal by Markel or approved equal. Install electric heaters in strict accordance with manufacturer's written installation instructions.
  4. Refer to drawing M104; Remove southern most existing heat pump on smallest existing roof curb, see Demolition Note D7. Northern most existing heat pump on smallest existing roof curb shall remain.
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**End of HVAC Addendum**



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**USC - 1600 Hampton Street Annex Renovation**  
**ELECTRICAL ITEMS - ADDENDUM NO. 2**  
March 5, 2014

This addendum modifies the Contract Documents only in the manner and to the extent stated herein and shown on any accompanying drawings and will become a part of the Contract Documents. Except as specified or otherwise indicated by this addendum, all work shall be in accordance with the basic requirements of the Contract Documents.

**DRAWINGS:**

1. **Sheet E002 Electrical Demolition Plans**
  - Replace drawing in its entirety with the attached E002.
2. **Sheet E301 HVAC Power Plan - Basement**
  - Replace drawing in its entirety with the attached E301.
3. **Sheet E501 Fire Alarm Plan - Basement**
  - Replace drawing in its entirety with the attached E501.
4. **Sheet E502 Fire Alarm Plan – 1<sup>st</sup> Floor**
  - Replace drawing in its entirety with the attached E502.
5. **Sheet E503 Fire Alarm Plan – 2<sup>nd</sup> and 3<sup>rd</sup> Floor**
  - Replace drawing in its entirety with the attached E503.

Each Bidder shall acknowledge receipt of this Addendum and all other Addenda on his bid form.

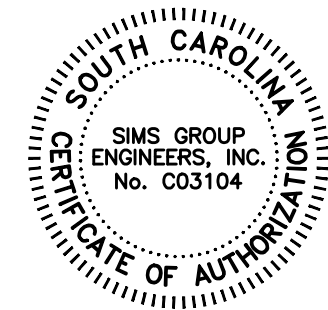
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[ DEFERRED MAINTENANCE PACKAGE ]  
DIVISION OF LAW ENFORCEMENT & SAFETY (DLES)  
UNIVERSITY OF SOUTH CAROLINA

REVISIONS:  
3/5/14, ADDENDUM #2

DRAWN BY:

CHECKED BY: CLP

COMM NO: 12113

DATE: 2/8/2014

SHEET TITLE:

ELECTRICAL  
DEMOLITION PLANS

SHEET NO:

E002

### ELECTRICAL DEMOLITION PLAN KEYNOTES

REFER TO ELECTRICAL DEMOLITION NOTES ON E001 FOR ADDITIONAL ELECTRICAL DEMOLITION INFORMATION. REFER TO DEMOLITION NOTES ON M101, M102, M103, & M104 FOR ADDITIONAL MECHANICAL DEMOLITION INFORMATION. REFER TO DEMOLITION NOTES ON ARCHITECTURAL DRAWINGS FOR GENERAL BUILDING DEMOLITION INFORMATION.

01 EXISTING ROOFTOP RTU OR HEAT PUMP BEING REMOVED. DISCONNECT ELECTRICAL FROM UNIT AND REMOVE EXISTING DISCONNECT, WIRING, AND ANY CONDUIT NOT BEING REUSED.

02 EXISTING ROOFTOP HEAT PUMP TO REMAIN, MAINTAIN EXISTING ELECTRICAL.

03 EXISTING AIR HANDLING UNIT BEING REMOVED. DISCONNECT ELECTRICAL FROM UNIT AND REMOVE EXISTING DISCONNECT, WIRING, AND ANY CONDUIT NOT BEING REUSED.

04 EXISTING AIR HANDLING UNIT TO REMAIN, MAINTAIN EXISTING ELECTRICAL.

05 EXISTING AIR CLEANER UNIT BEING REMOVED. DISCONNECT ELECTRICAL FROM UNIT AND REMOVE EXISTING DISCONNECT, WIRING, AND ANY CONDUIT NOT BEING REUSED.

06 EXISTING EXHASUT FAN BEING REMOVED. DISCONNECT ELECTRICAL FROM UNIT AND REMOVE EXISTING DISCONNECT, WIRING, AND ANY CONDUIT NOT BEING REUSED.

07 EXISTING EXHAUST FAN TO REMAIN, MAINTAIN EXISTING ELECTRICAL.

08 EXISTING ELECTRIC WALL HEATER TO REMAIN, MAINTAIN EXISTING ELECTRICAL.

09 DASHED WALLS DENOTE EXISTING WALLS TO BE REMOVED, REMOVE EXISTING RECEPTACLES, LIGHT SWITCHES, AND OTHER ELECTRICAL DEVICES, AND ALL OUTLET BOXES, WIRING, AND CONDUIT. REFER TO ARCHITECTURAL DEMOLITION PLANS AND TO ELECTRICAL DEMOLITION NOTES ON E001 FOR ADDITIONAL INFORMATION.

010 DENOTES EXISTING SECTION OF WALL TO BE REMOVED TO CREATE DOORWAY, REMOVE EXISTING RECEPTACLES, LIGHT SWITCHES, AND OTHER ELECTRICAL DEVICES, AND ALL OUTLET BOXES, WIRING, AND CONDUIT IN THIS SECTION. WHERE THIS DEMOLITION CAUSES A BREAK IN EXISTING CONDUIT THAT IS BEING REUSED, EXTEND/REROUTE EXISTING CONDUIT AS REQUIRED TO CONTINUE CONDUIT.

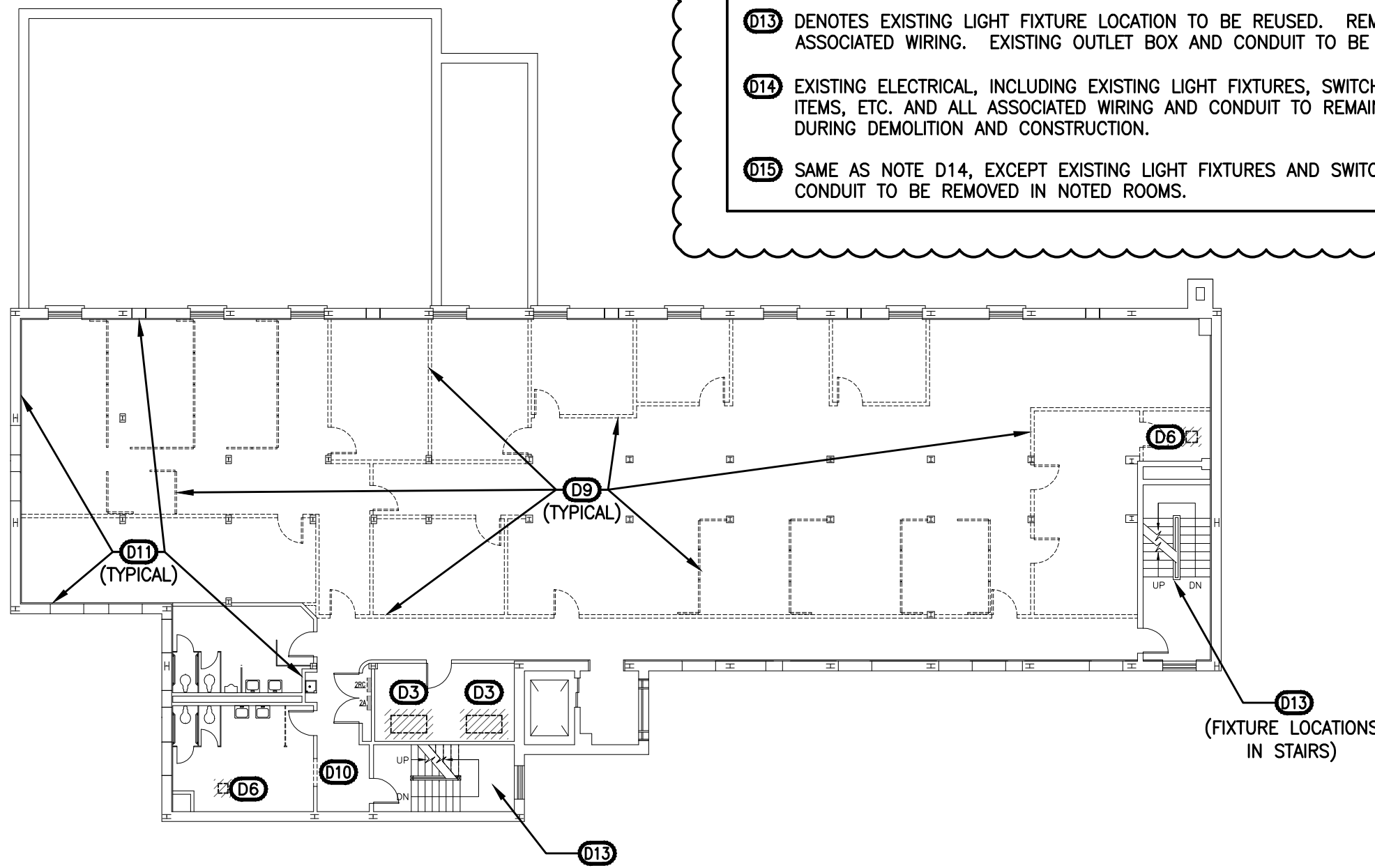
011 SOLID WALLS DENOTE EXISTING WALLS TO REMAIN, REMOVE EXISTING RECEPTACLES, LIGHT SWITCHES, AND OTHER ELECTRICAL DEVICES, AND ALL WIRING AND CONDUIT NOT BEING REUSED. EXISTING RECEPTACLE AND SWITCH OUTLET BOXES AND CONCEALED CONDUIT IN EXISTING WALLS NOT BEING DEMOLISHED TO REMAIN.

012 GENERAL NOTE: REMOVE ALL EXISTING LIGHT FIXTURES AND ASSOCIATED WIRING, CONDUIT AND OUTLET BOXES NOT BEING REUSED. SEE NOTES D12 AND D13 BELOW FOR LIGHTING ITEMS TO REMAIN.

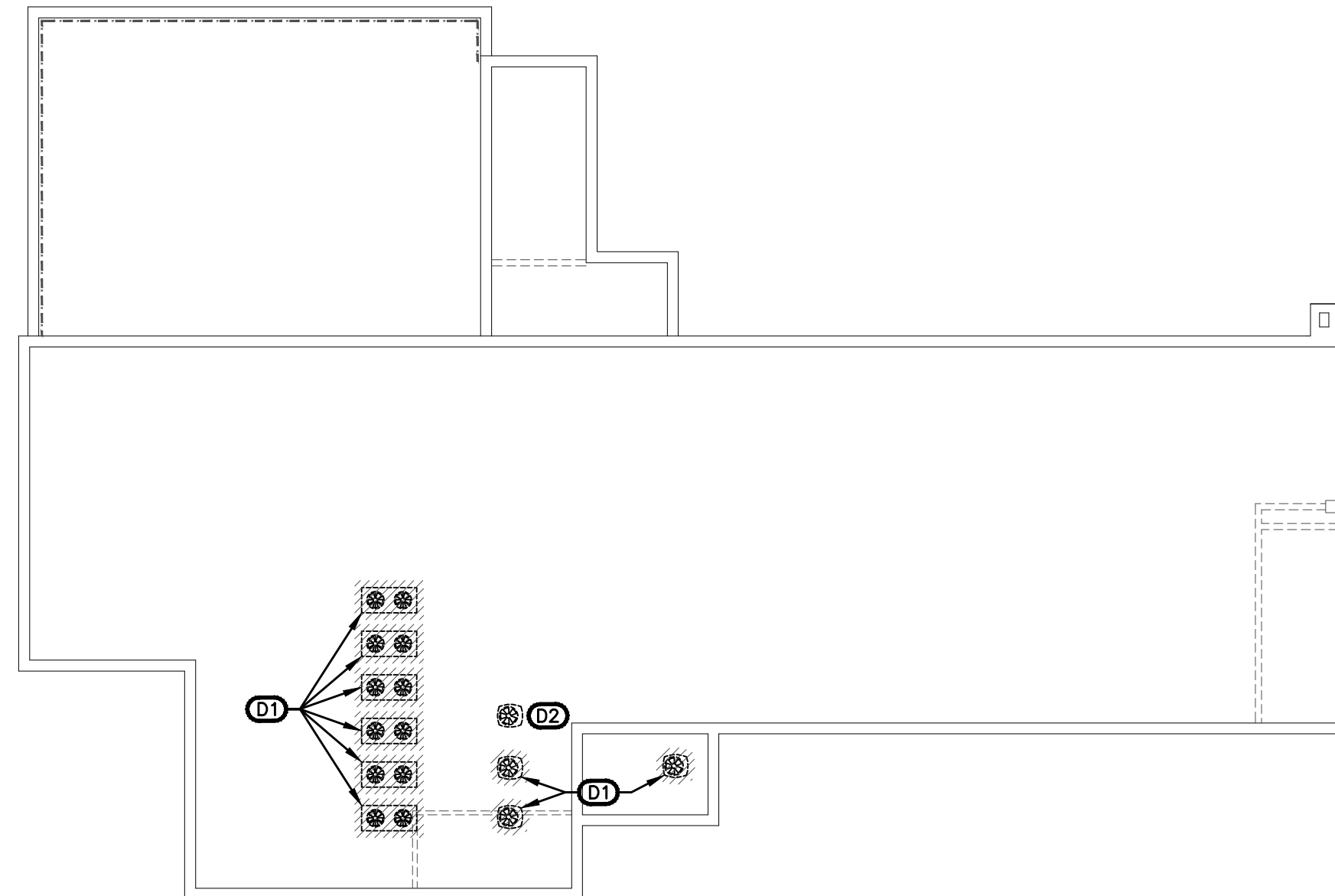
013 DENOTES EXISTING LIGHT FIXTURE LOCATION TO BE REUSED. REMOVE EXISTING LIGHT FIXTURE AND ASSOCIATED WIRING. EXISTING OUTLET BOX AND CONDUIT TO BE REMAIN.

014 EXISTING ELECTRICAL, INCLUDING EXISTING LIGHT FIXTURES, SWITCHES, RECEPTACLES, DATA OUTLETS, A/V ITEMS, ETC. AND ALL ASSOCIATED WIRING AND CONDUIT TO REMAIN IN THESE TWO ROOMS. MAINTAIN ITEMS DURING DEMOLITION AND CONSTRUCTION.

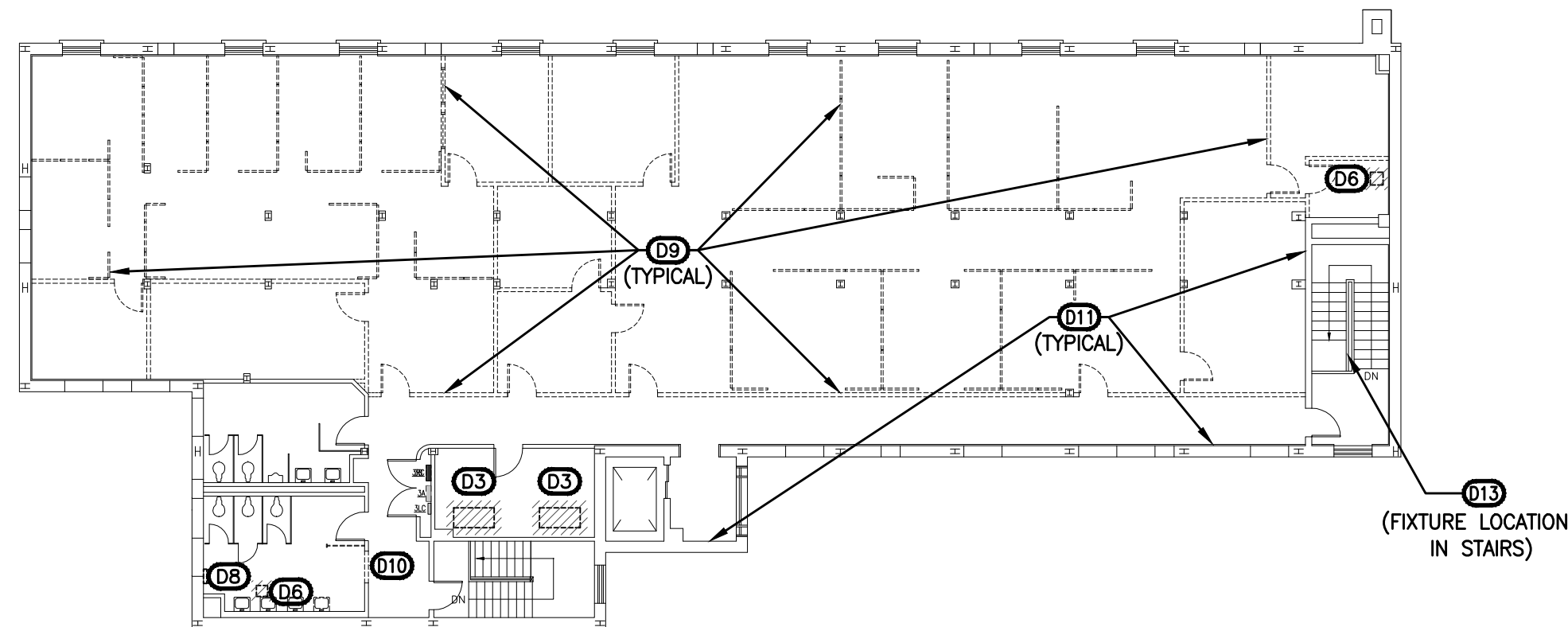
015 SAME AS NOTE D14. EXCEPT EXISTING LIGHT FIXTURES AND SWITCHES AND ALL ASSOCIATED WIRING AND CONDUIT TO BE REMOVED IN NOTED ROOMS.



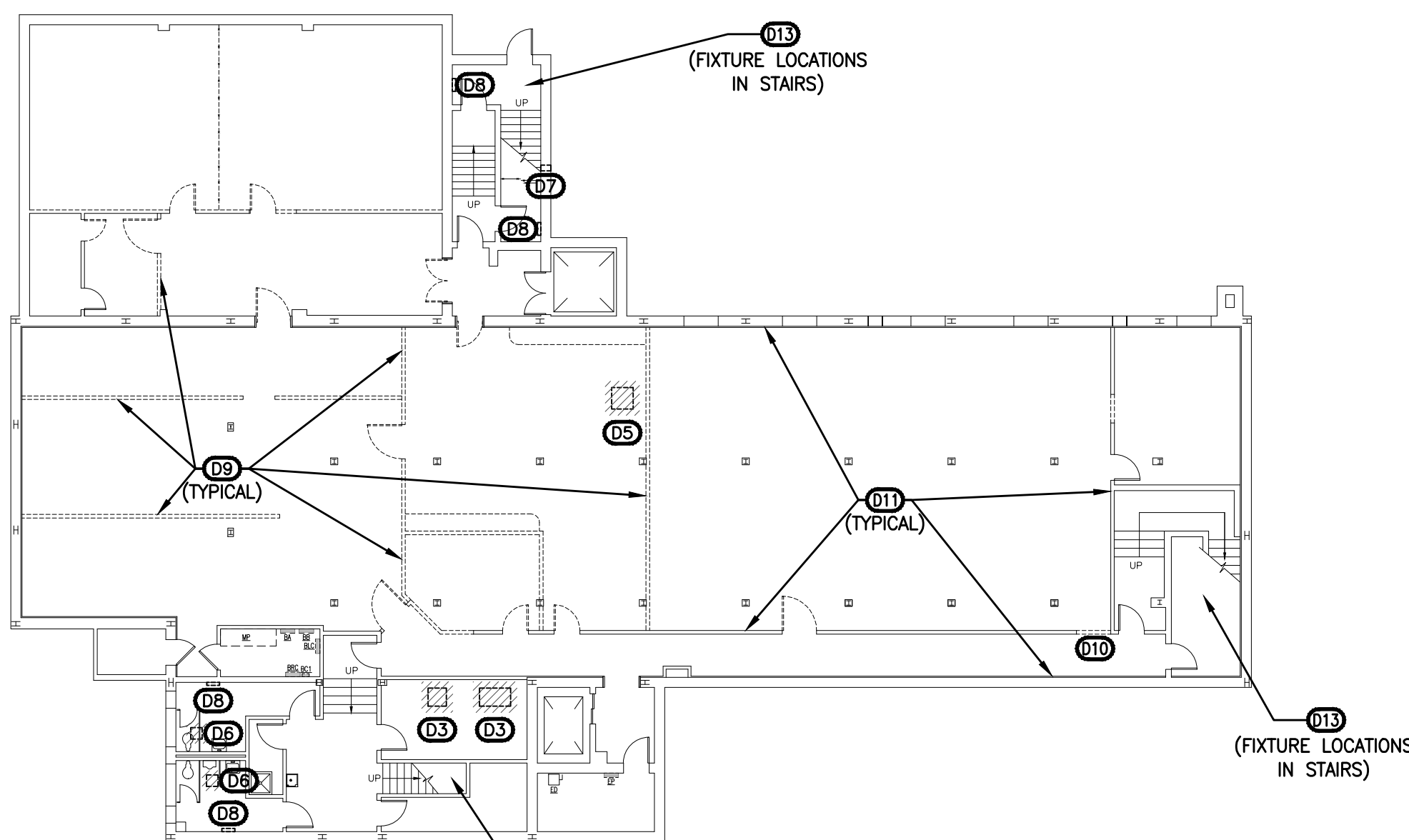
3 ELECTRICAL DEMOLITION PLAN - SECOND FLOOR  
SCALE: 1/16"=1'-0"



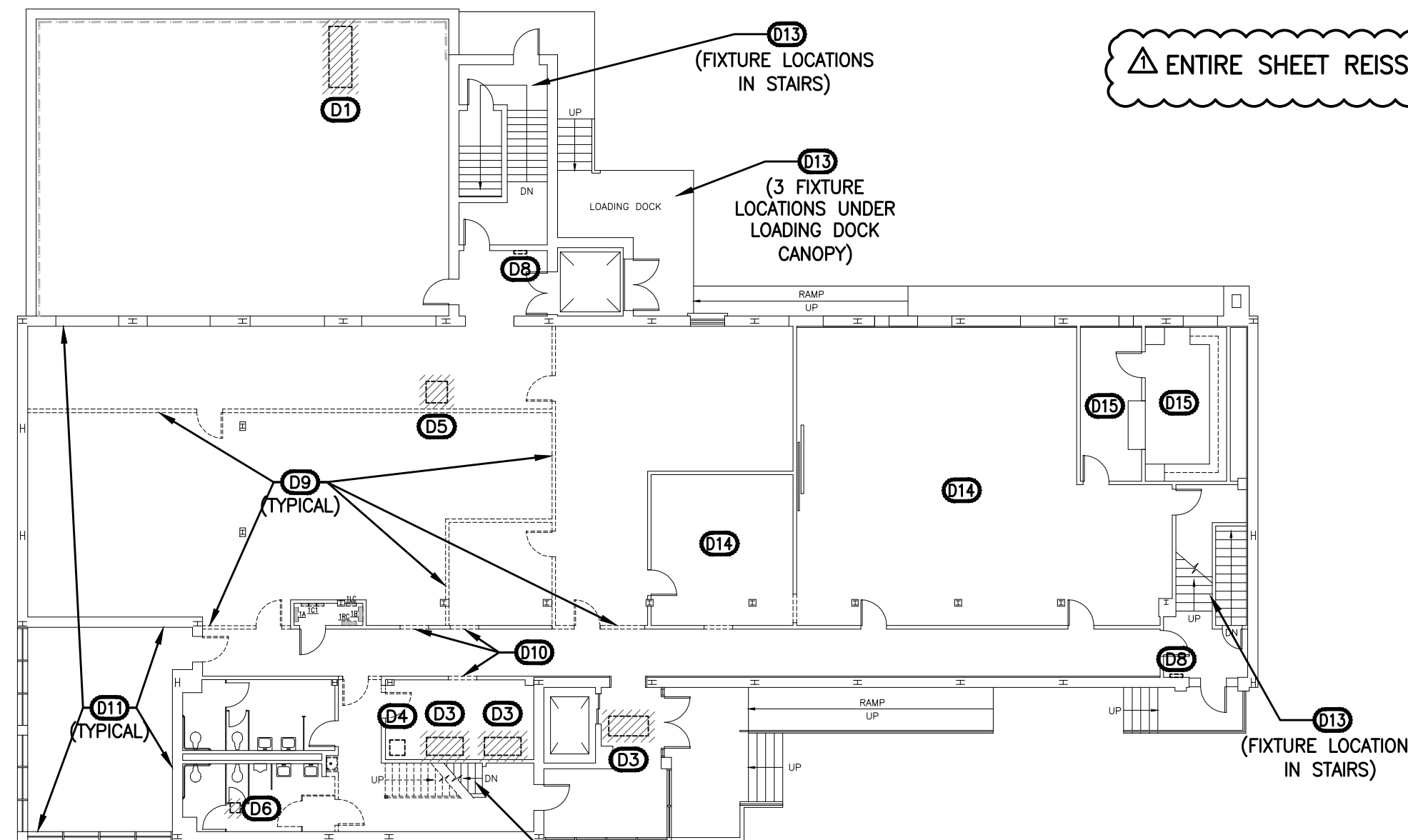
5 ELECTRICAL DEMOLITION PLAN - ROOF LEVEL  
SCALE: 1/16"=1'-0"



4 ELECTRICAL DEMOLITION PLAN - THIRD FLOOR  
SCALE: 1/16"=1'-0"



1 ELECTRICAL DEMOLITION PLAN - BASEMENT  
SCALE: 1/16"=1'-0"



2 ELECTRICAL DEMOLITION PLAN - FIRST FLOOR  
SCALE: 1/16"=1'-0"

ENTIRE SHEET REISSUED VIA ADDENDUM #2.

ADDENDUM #2

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C14002

Jumper

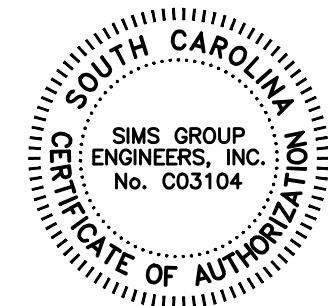
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REVISIONS:  
Δ 3/5/14, ADDENDUM #2

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COMM NO: 12113

DATE: 2/8/2014

SHEET TITLE:

HVAC POWER PLAN-BASEMENT

SHEET NO:

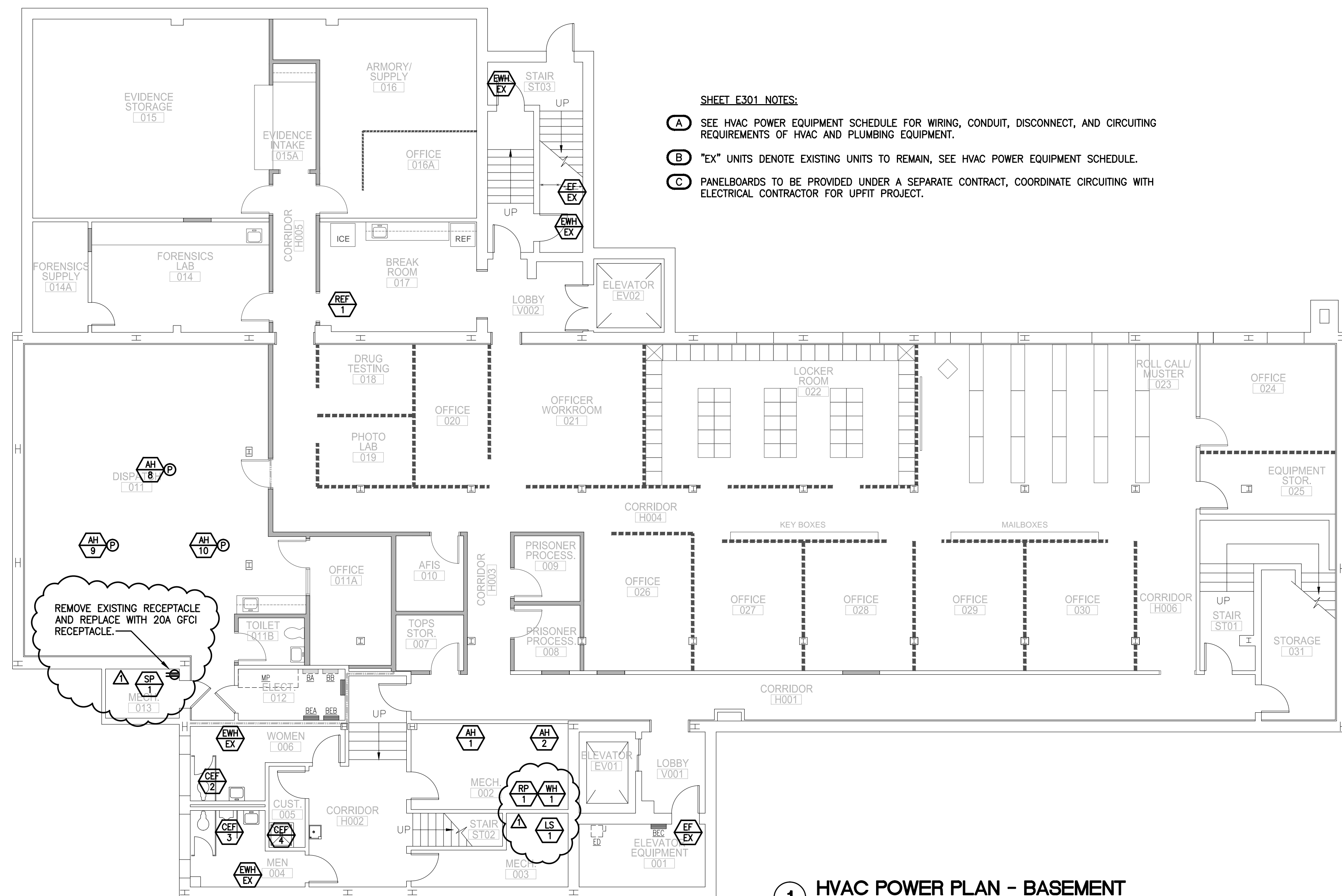
E301

### HVAC POWER SYMBOLS AND NOTES

- CU-2** DENOTES HVAC UNIT ID TAG, TAG CORRESPONDS TO UNIT ID ON MECHANICAL DRAWINGS. TAG SHOWN IS FOR HVAC UNIT CU-2. CU = CONDENSING UNIT, 2 = UNIT NUMBER. REFER TO MECHANICAL EQUIPMENT SCHEDULE ABOVE FOR CONDUIT, WIRING, & DISCONNECT TYPES/SIZES. LOCATE DISCONNECTS ADJACENT TO EQUIPMENT IN AN ACCESSIBLE LOCATION, FIELD VERIFY.
- Ⓟ** CONDENSATE PUMP TIED TO AH UNITS, PROVIDE 120V CIRCUIT AND DISCONNECT AS NOTED ON THE DRAWINGS.
- Ⓢ** DUPLEX GFCI RECEPTACLE, 20A, 120V, NEMA 5/20R. MOUNT ADJACENT TO EQUIPMENT IN ACCESSIBLE LOCATION. "WP" DENOTES WEATHERPROOF RECEPTACLE WITH WEATHERPROOF COVER PLATE, SEE 260500.
- COORDINATE VOLTAGES WITH MECHANICAL CONTRACTOR PRIOR TO START OF WORK. IF EQUIPMENT IS SUPPLIED AT A VOLTAGE OTHER THAN THAT PROVIDED, THE GENERAL CONTRACTOR AND SUBCONTRACTORS WILL BE HELD RESPONSIBLE FOR MAKING ANY NECESSARY ADJUSTMENTS TO CORRECT THE CONFLICT, AT NO COST TO THE OWNER, TO THE SATISFACTION OF THE ELECTRICAL ENGINEER. REFER TO MECHANICAL DRAWINGS FOR EQUIPMENT LOCATIONS, SUBJECT TO FIELD VERIFICATION.
- INFORMATION SHOWN IN SCHEDULE WAS TAKEN FROM DRAWINGS FURNISHED BY THE MECHANICAL ENGINEER. PRIOR TO STARTING WORK AND BEFORE ORDERING ANY EQUIPMENT, THE ELECTRICAL CONTRACTOR SHALL REVIEW THE HVAC SHOP DRAWINGS AND SHALL VERIFY ALL EQUIPMENT FOR CONFORMANCE WITH THE INFORMATION SHOWN IN THE SCHEDULE (VOLTAGE, MCA, MOCP), AND SHALL NOTIFY THE ENGINEER AND THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE MECHANICAL SHOP DRAWINGS AND THIS SCHEDULE.
- ALL MOTOR STARTERS AND VARIABLE FREQUENCY DRIVES (VFDs) FOR HVAC-RELATED EQUIPMENT THAT ARE NOT FACTORY-MOUNTED AND PREWIRED SHALL BE FURNISHED BY THE MECHANICAL CONTRACTOR, INSTALLED AND POWER WIRED BY THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE ON THE DESIGN DOCUMENTS. REFER TO MECHANICAL DRAWINGS FOR LOCATIONS AND QUANTITIES OF MOTOR STARTERS AND VFDs.
- USE HACR TYPE CIRCUIT BREAKERS FOR ALL HVAC UNITS.
- WIRE EXHAUST FAN VIA BUILDING MANAGEMENT SYSTEM (BMS) RELAY FURNISHED BY HVAC CONTROLS CONTRACTOR, COORDINATE IN FIELD WITH MECHANICAL CONTRACTOR.
  - IF UNIT SUPPLIED WITH CORD & PLUG, PROVIDE RECEPTACLE TO MATCH PLUG IN LIEU OF DISCONNECT. ELIMINATE DISCONNECT IF UNIT SUPPLIED WITH BUILT-IN DISCONNECT, VERIFY VOLTAGE.
  - PROVIDE SEPARATE 120V CIRCUIT FOR CONDENSATE PUMP.
  - EXISTING CONDUIT MAY BE REUSED IN LIEU OF NEW CONDUIT IF SIZE OF CONDUIT IS EQUAL TO OR EXCEEDS THAT SPECIFIED.
  - DENOTES EXISTING EXHAUST FAN (EF-EX) OR EXISTING ELECTRIC WALL HEATER (EWH-EX) TO REMAIN. MAINTAIN CIRCUITING THROUGHOUT DEMOLITION AND CONSTRUCTION.
  - SEE POWER RISER DIAGRAM ON E601 FOR HOMERUN WIRE SIZE (200A). PROVIDE DOUBLE LUGS ON LINE SIDE OF RTU DISCONNECTS WHERE REQUIRED TO FEED OTHER RTUs.

#### SHEET E301 NOTES:

- A** SEE HVAC POWER EQUIPMENT SCHEDULE FOR WIRING, CONDUIT, DISCONNECT, AND CIRCUITING REQUIREMENTS OF HVAC AND PLUMBING EQUIPMENT.
- B** "EX" UNITS DENOTE EXISTING UNITS TO REMAIN, SEE HVAC POWER EQUIPMENT SCHEDULE.
- C** PANELBOARDS TO BE PROVIDED UNDER A SEPARATE CONTRACT, COORDINATE CIRCUITING WITH ELECTRICAL CONTRACTOR FOR UPFIT PROJECT.



### 1 HVAC POWER PLAN - BASEMENT

SCALE: 1/8" = 1'-0"

Δ ENTIRE SHEET REISSUED VIA ADDENDUM #2.

BID SET C14002

**sims group**

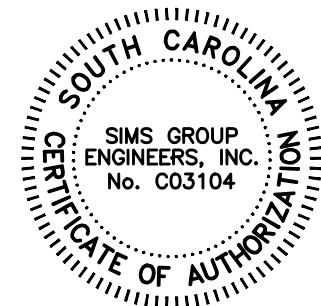
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www.simgroupusa.com

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3/5/14, ADDENDUM #2

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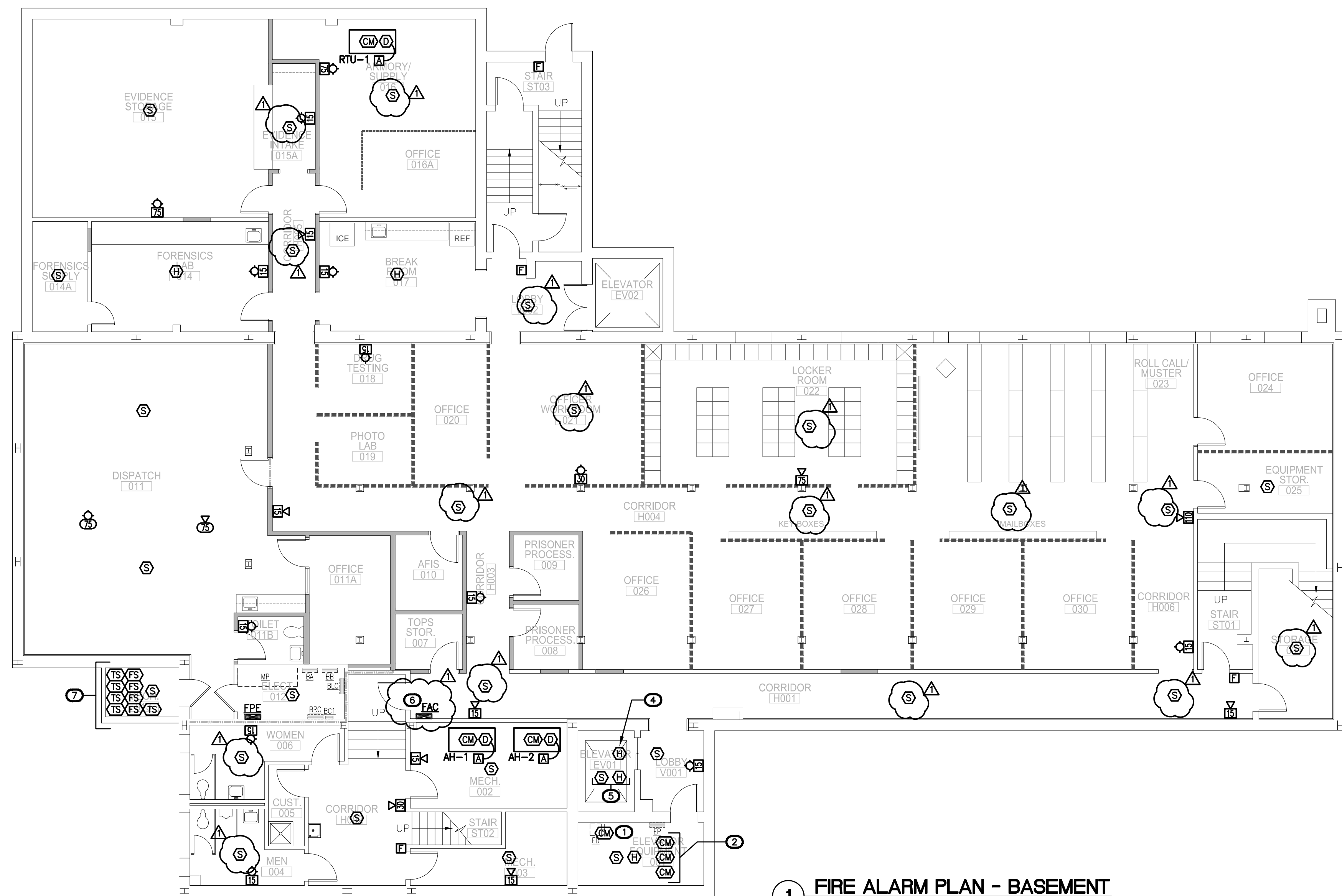
DATE: 2/8/2014

SHEET TITLE:

FIRE ALARM PLAN-BASEMENT

SHEET NO:

E501



FIRE ALARM DRAWING E501 PLAN NOTES:

- 1 PROVIDE CONTROL MODULE FOR SHUNT TRIP OF ELEVATOR CIRCUIT BREAKER PER NFPA-72. COORDINATE LOCATION WITH ELEVATOR CIRCUIT BREAKER. PROVIDE ALL CONDUIT, WIRING, SLAVE RELAY, APPURTENANCES AND PROGRAMMING FOR FULL OPERATION.
- 2 PROVIDE CONTROL MODULES FOR ELEVATOR RECALL PER NFPA-72 AT ELEVATOR CONTROLLER. PROVIDE ALL CONDUIT, WIRING, SLAVE RELAY, APPURTENANCES AND PROGRAMMING FOR FULL OPERATION.
- 3 NOT USED.
- 4 LOCATE IN ELEVATOR PIT WITHIN 18" OF SPRINKLER HEAD. IF SPRINKLER HEAD IS NOT INSTALLED IN ELEVATOR PIT, DO NOT INSTALL HEAT DETECTOR IN PIT. INSTEAD, TURN OVER TO OWNER AS PART OF SPARE STOCK.
- 5 LOCATE IN TOP OF ELEVATOR SHAFT.
- 6 FIRE ALARM CONTROL PANEL LOCATION SHALL BE DETERMINED BY OWNER/AHJ.
- 7 TAMPER AND FLOW SWITCHES SHOWN ARE BASED ON ONE ZONE PER FLOOR. PROVIDE ONE MONITORING MODULE FOR EACH FIRE PROTECTION SWITCH INSTALLED. FIELD COORDINATE ACTUAL QUANTITY AND LOCATIONS.

GENERAL NOTE: NEW WALLS ARE BEING ADDED UNDER A SEPARATE CONTRACT. THIS CONTRACTOR SHALL FIELD COORDINATE INSTALLATION OF FIRE ALARM DEVICES WITH THE WALLS, PARTITIONS, AND DEMOUNTABLE WALLS BEING ADDED UNDER THAT CONTRACT. TYPICAL FOR ALL FLOORS.

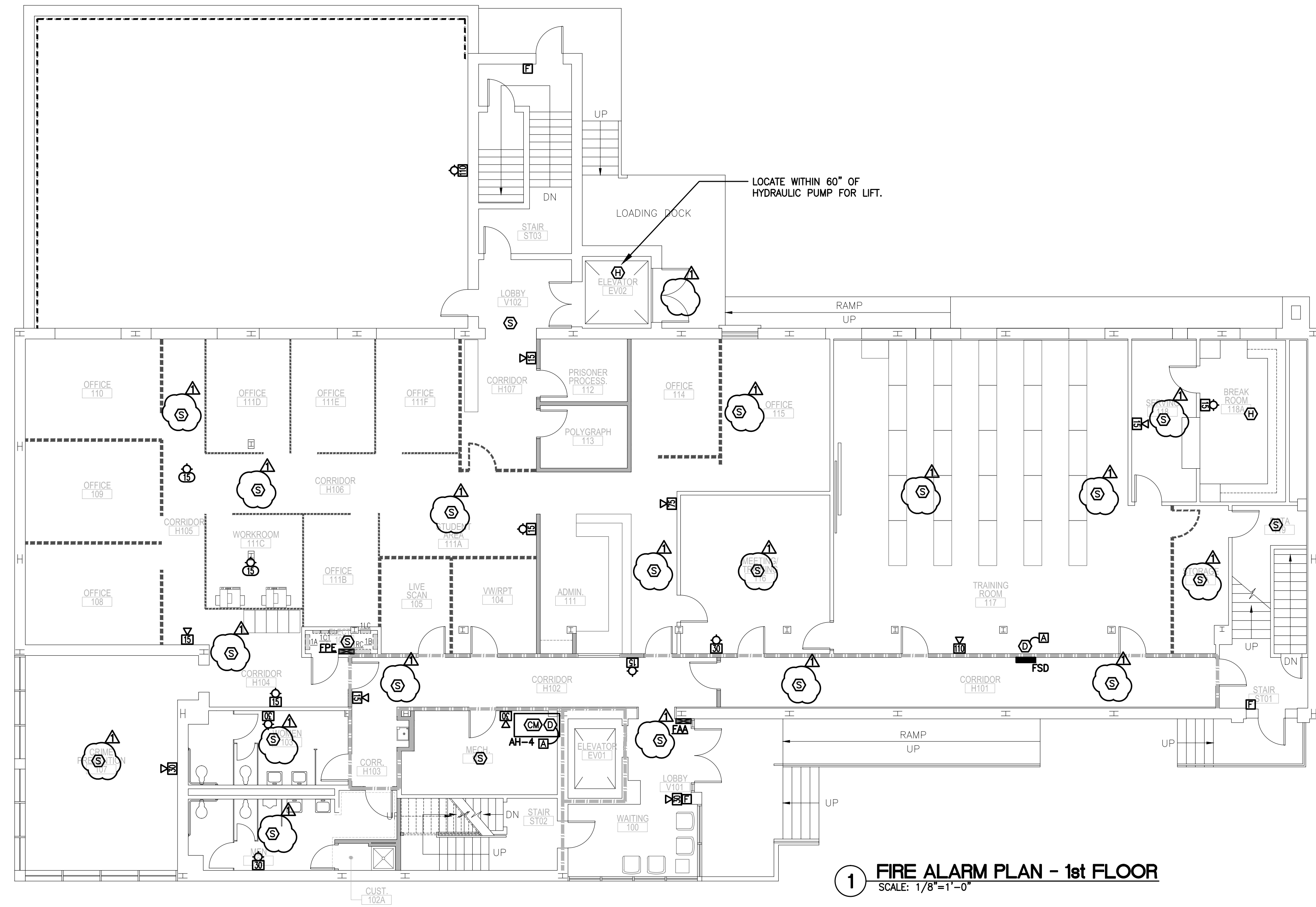
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1 FIRE ALARM PLAN - BASEMENT  
SCALE: 1/8" = 1'-0"

ADDENDUM #2 C14002

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1 FIRE ALARM PLAN - 1st FLOOR  
SCALE: 1/8"=1'-0"

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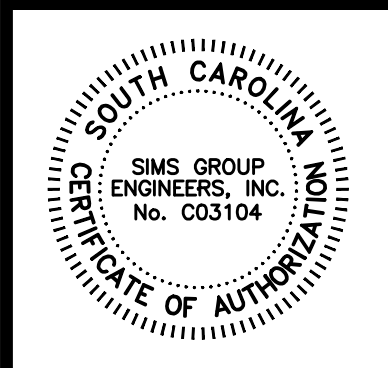
ADDENDUM #2 C14002

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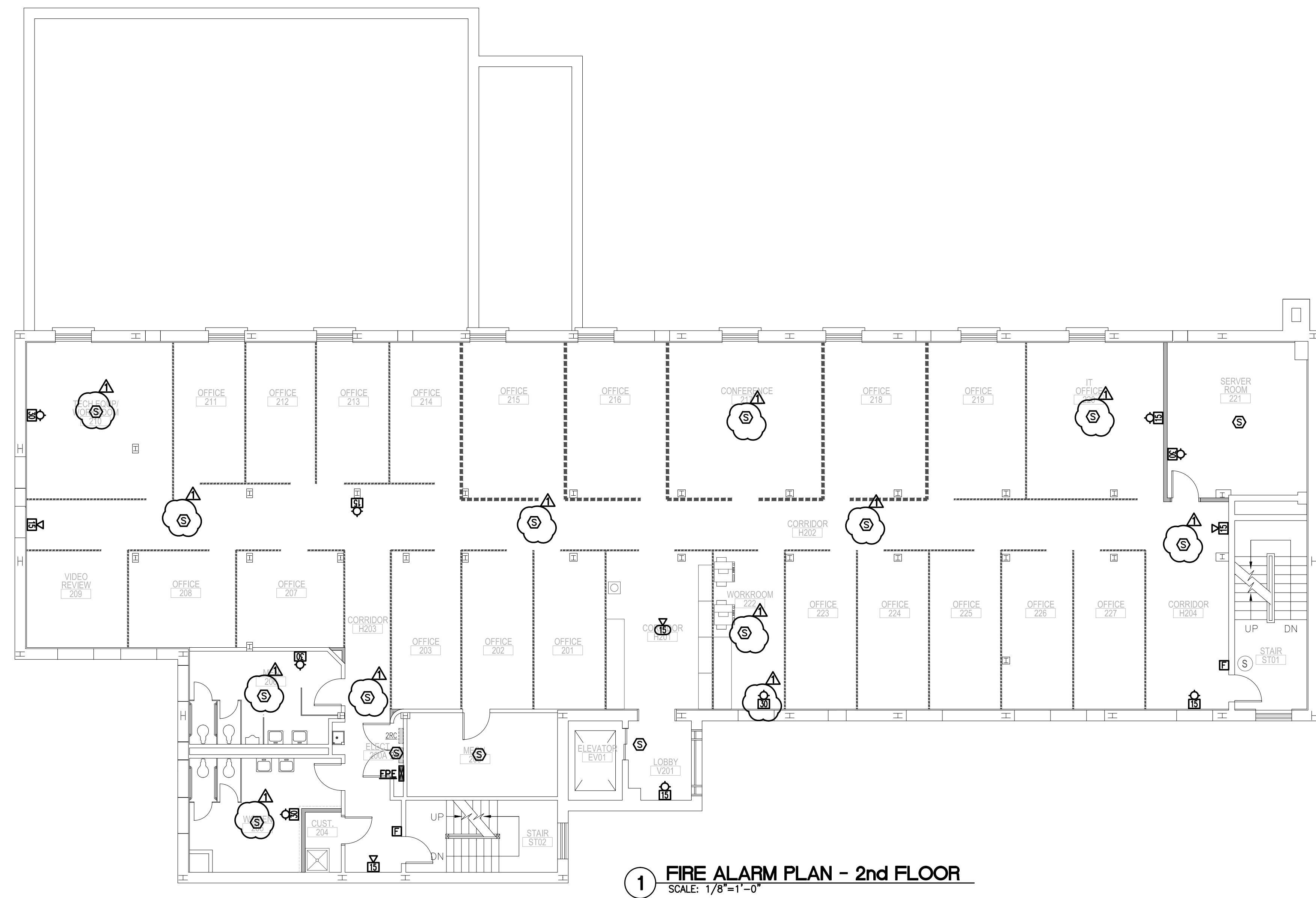
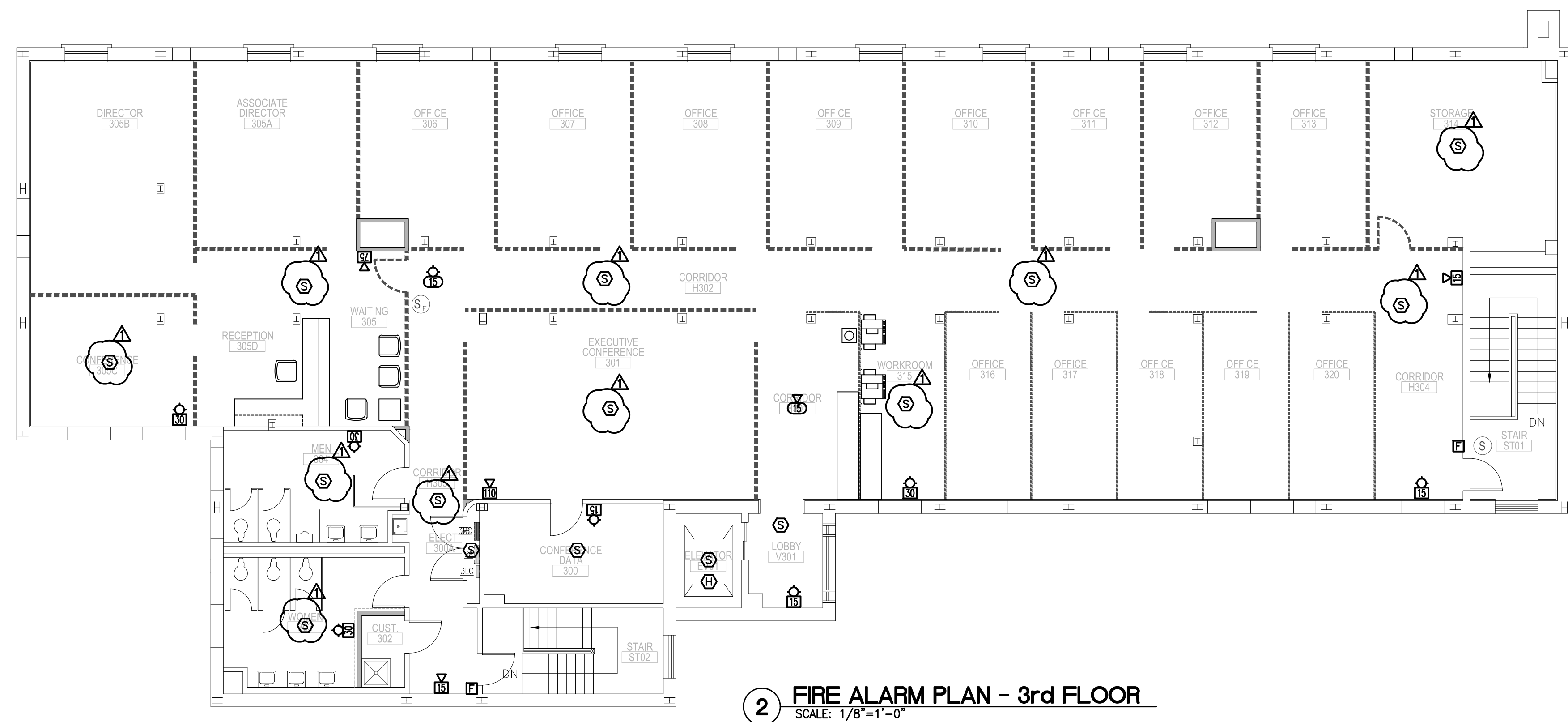
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3/5/14, ADDENDUM #2

DRAWN BY: RAC  
CHECKED BY: CLP  
COMM NO: 12113  
DATE: 2/8/2014  
SHEET TITLE:

FIRE ALARM PLAN-  
1st FLOOR

SHEET NO:  
E502



ENTIRE SHEET REISSUED VIA ADDENDUM #2.

ADDENDUM #2

C14002

sims group

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SOUTH CAROLINA

SIMS GROUP ENGINEERS, INC.

No. C03104

STATE OF SOUTH CAROLINA

PROFESSIONAL ENGINEER

DATE OF AUTHORIZATION

SOUTH CAROLINA

PROFESSIONAL ENGINEER

No. 17113

DATE OF AUTHORIZATION

3/5/2014

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DATE:  
2/8/2014

SHEET TITLE:  
FIRE ALARM PLAN-  
2ND & 3RD FLOOR

SHEET NO:  
E503